

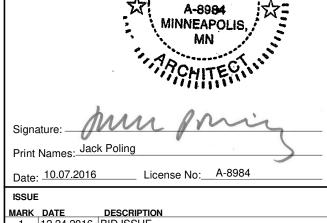
MSR 710 South 2nd Street, 8th Floor Minneapolis, Minnesota 55401–2282 Architecture 612 375 0336 tel Interiors and 612 342 2216 fax Urban Design www.msrdesign.com Civil Engineering and Landscape Architects Ken Saiki Design, Inc 303 South Paterson St Madison, WI 53703 608.251.3600 tel Structural Engineering, Technology, AV KJWW 1800 Deming Way, Suite 200 Middleton, WI 53713 608.223.9600 tel MEP Engineers MEP Associates 860 Blue Gentian Road, Suite 175 Eagan, MN 55121 651.379.9120 tel Lighting Designer Gallina Design 30232 County 7 Chatfield, MN 55923 507.867.1628 tel Preservation Architect Charles Quagliana, AIA 5641 Willoughby Rd Mazomanie, WI 53560 608.449.9589 tel Building Envelope Consultant Insite Consulting Architects 115 E. Main Street, Suite 200 Madison, WI 53703 608.204.0825 tel Fire & Code Sonsultant Summit Fire Consulting 575 Minnehaha Ave. W. St. Paul, MN 55103 651.251.1879 tel Acoustical Consultant KRA 4826 Chicago Avenue South, Suite 206 Minneapolis, MN 554 612.374.3800 tel

Civil Engineers VIERBICHER 999 Fourier Drive, Suite 201 WI 53717



LISCONS

/ DANIEL JACK POLING



MARKDATEDESCRIPTION112.24.2016BID ISSUE

PROJECT NO. 2014057

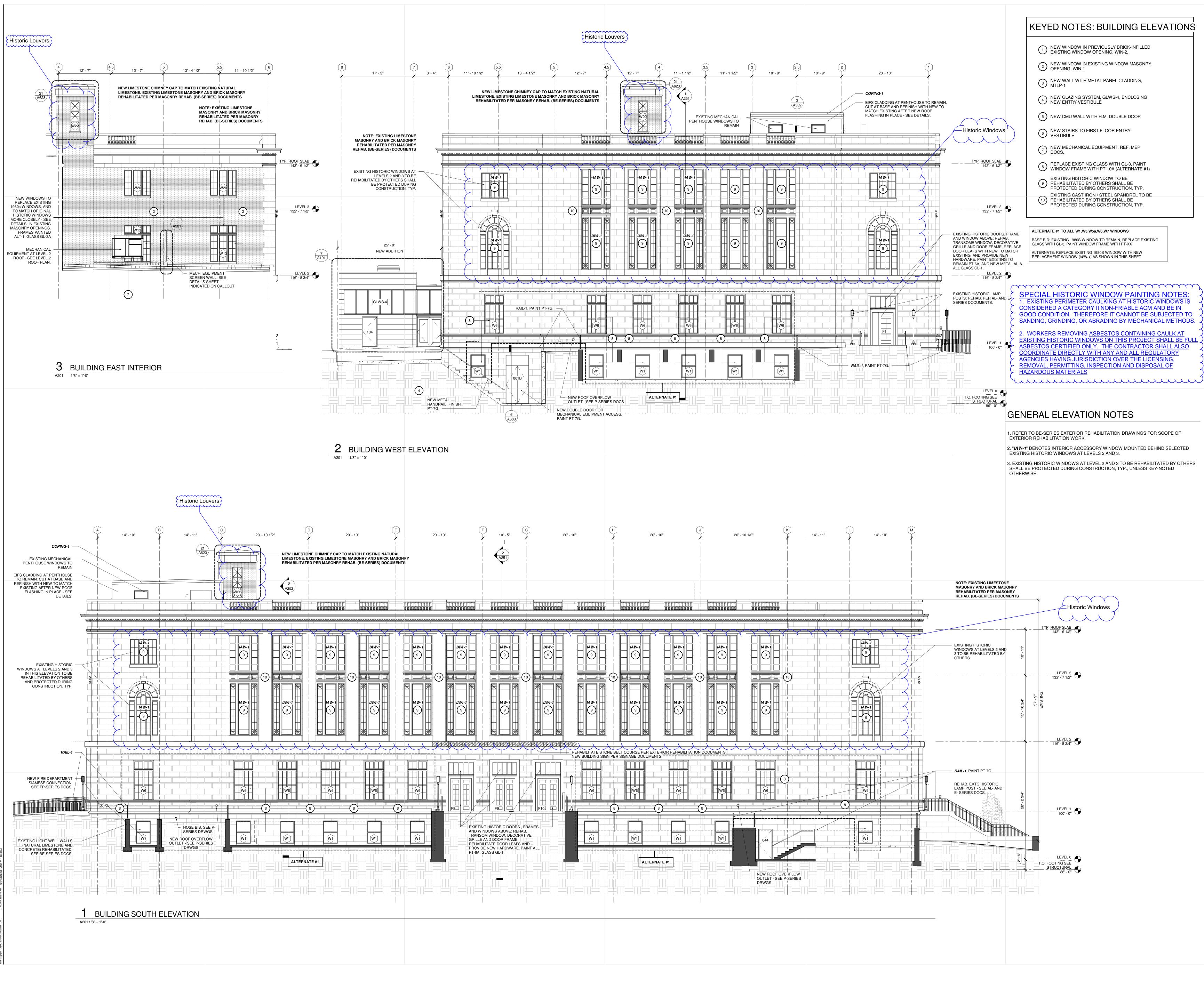
PROJECT PHASE **BID ISSUE** DRAWN BY: Author

CHECKED BY: Checker ing 2016 Copyright Meyer, Scherer & Rockcastle, Ltd. ARCHITECTURAL



A00⁻

(1 OF 6)



MSR 710 South 2nd Street, 8th Floor Minneapolis, Minnesota 55401–2282

Architecture 612 375 0336 tel Interiors and 612 342 2216 fax Urban Design www.msrdesign.com

Civil Engineering and Landscape Architects Ken Saiki Design, Inc 303 South Paterson St Madison, WI 53703 608.251.3600 tel

Structural Engineering, Technology, AV KJWW 1800 Deming Way, Suite 200 Middleton, WI 53713

608.223.9600 tel

MEP Engineers MEP Associates 860 Blue Gentian Road, Suite 175 Eagan, MN 55121 651.379.9120 tel

Lighting Designer Gallina Design 30232 County 7 Chatfield, MN 55923 507.867.1628 tel

Preservation Architect Charles Quagliana, AIA 5641 Willoughby Rd Mazomanie, WI 53560 608.449.9589 tel

Building Envelope Consultant Insite Consulting Architects 115 E. Main Street, Suite 200 Madison, WI 53703 608.204.0825 tel

Fire & Code Sonsultant Summit Fire Consulting 575 Minnehaha Ave. W. St. Paul, MN 55103 651.251.1879 tel

Acoustical Consultant KRA 4826 Chicago Avenue South, Suite 206 Minneapolis, MN 554 612.374.3800 tel

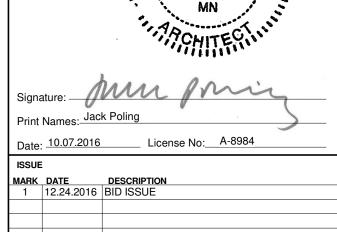
Civil Engineers VIERBICHER 999 Fourier Drive, Suite 201 Madison WI 53717

Blvd Municipal Z Ο **lenovati** PAI . ⁴7946 ng, Jr. 3703 DOW ເ⊒ີ ເΩ MINI ע ער ער \odot RIC O \cap Ο 0 uilding BPW Martin Madi S Ξ adi 2 Ō ERI Σ S Ω EXT **—** N I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin. ARCHITECT SEAL

SCONS / DANIEL JACK POLING

A-8984

MINNEAPOLIS,



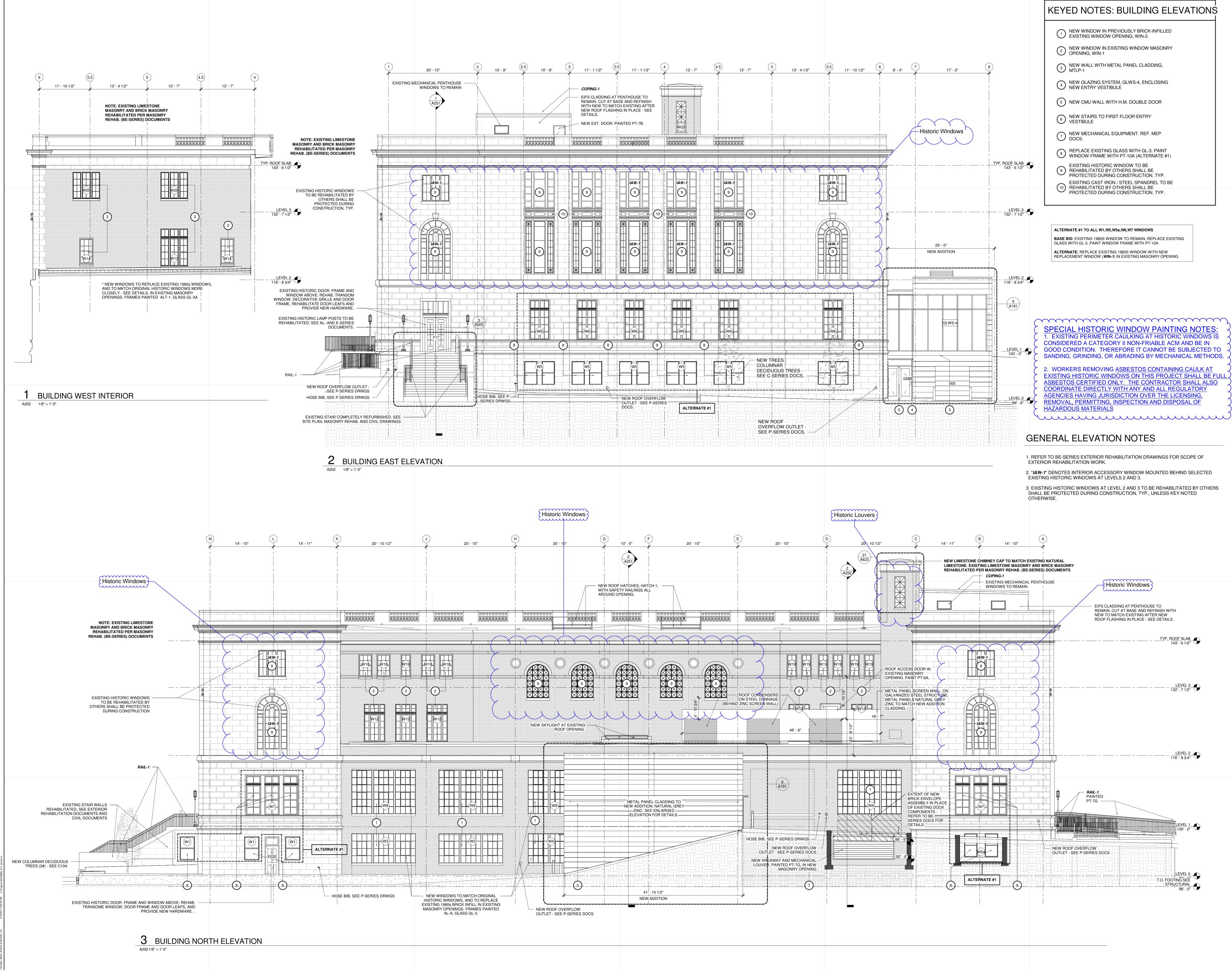
PROJECT NO.

2014057 PROJECT PHASE **BID ISSUE** DRAWN BY: CHECKED BY: ES/SK/SF SB Drawing 2016 Copyright Meyer, Scherer & Rockcastle, Ltd



EXHIBIT A A201

(2 OF 6)



MSR 710 South 2nd Street, 8th Floor Minneapolis, Minnesota 55401–2282 Architecture 612 375 0336 tel Interiors and 612 342 2216 fax Urban Design www.msrdesign.com Civil Engineering and Landscape Architects Ken Saiki Design, Inc

303 South Paterson St Madison, WI 53703 608.251.3600 tel

608.223.9600 tel

Structural Engineering, Technology, AV KJWW 1800 Deming Way, Suite 200 Middleton, WI 53713

MEP Engineers MEP Associates 860 Blue Gentian Road, Suite 175 Eagan, MN 55121 651.379.9120 tel

Lighting Designer Gallina Design 30232 County 7 Chatfield, MN 55923 507.867.1628 tel

Preservation Architect Charles Quagliana, AIA 5641 Willoughby Rd Mazomanie, WI 53560 608.449.9589 tel

Building Envelope Consultant Insite Consulting Architects 115 E. Main Street, Suite 200 Madison, WI 53703 608.204.0825 tel

Fire & Code Sonsultant Summit Fire Consulting 575 Minnehaha Ave. W. St. Paul, MN 55103 651.251.1879 tel

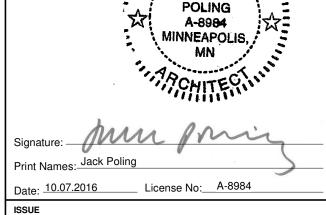
Acoustical Consultant KRA 4826 Chicago Avenue South, Suite 206 Minneapolis, MN 554 612.374.3800 tel

Civil Engineers VIERBICHER 999 Fourier Drive, Suite 201 Madison WI 53717



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin. ARCHITECT SEAL LISCONSI

/ DANIEL JACK



MARKDATEDESCRIPTION112.24.2016BID ISSUE

PROJECT NO. 2014057 PROJECT PHASE **BID ISSUE** DRAWN BY CHECKED BY:

ES/SK/SF

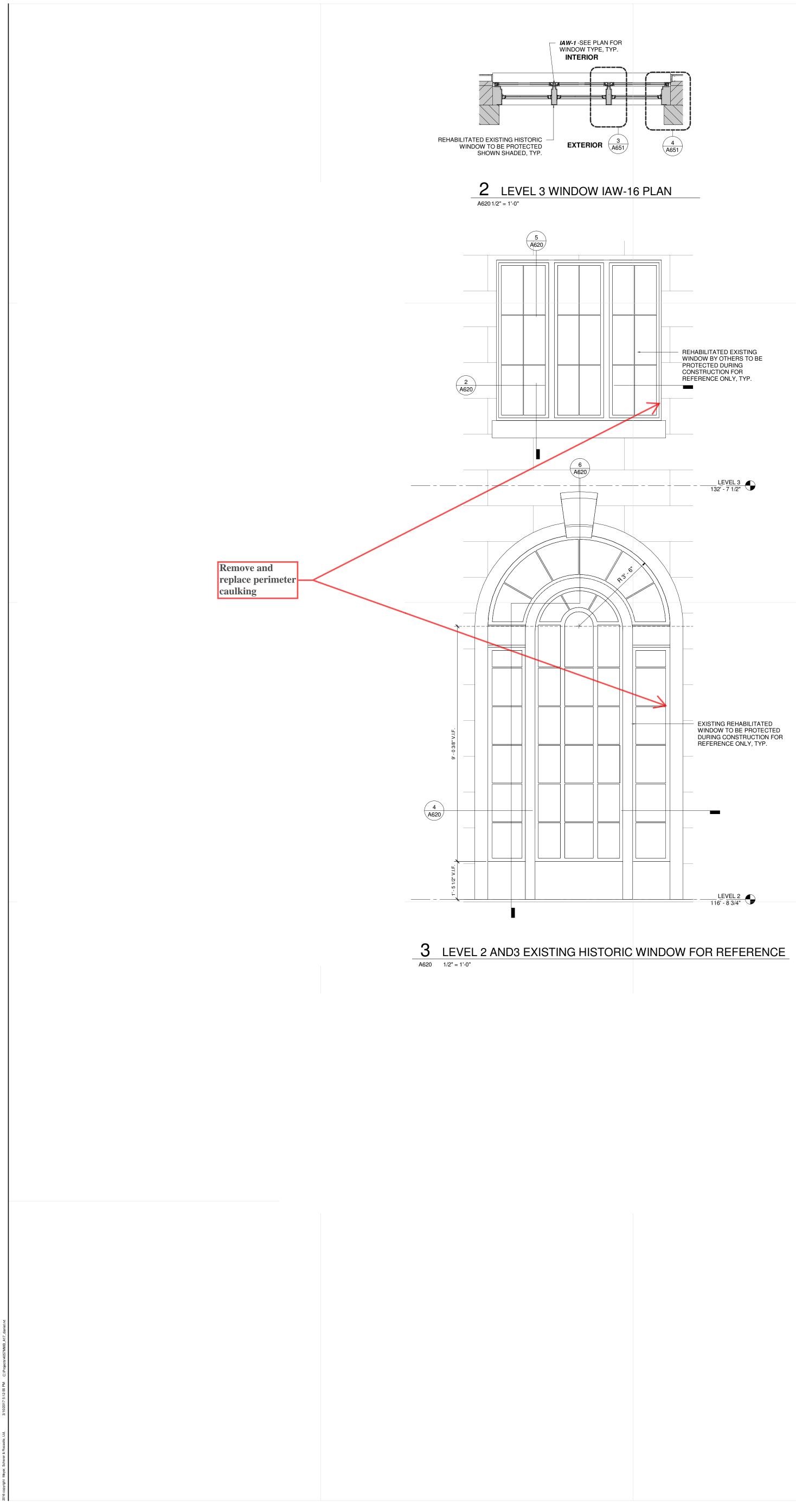
2016 Copyright Meyer, Scherer & Rockcastle, Ltd



SB



(3 OF 6



M 3/2

Madison Mu 8/22/2017	-		toric Window Painting.	GENERAL NOTES 1. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID AND VERIFY EXISTING CONDITIONS AND SCOPE OF WORK. 2. CONTRACTOR TO VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS AND EXISTING OPENING SIZES. DISCREPANCIES BETWEEN EXISTING AND NEW CONDITIONS (SETTING OUT OF WALLS, ETC.) SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT. 3. EXISTING, HISTORIC WINDOWS TO REMAIN TO BE REHABILITATED BY OTHERS SHALL BE PROTECTED DURING CONSTRUCTION. 4. ALL PARTITION SETTING OUT OF WALLS, ETC.) SHALL BE FOR SHALL BE PROTECTED DURING CONSTRUCTION. 5. DIMENSIONS TO FACE OF WALL ARE TIED TO CENTERLINE OF PARTITION, U.N.O. 5. DIMENSIONS TO FACE OF WALL ARE TIED TO CENTERLINE OF STRUCTURAL GRID, U.N.O. 6. REFER TO G-SERIES CODE P LAN DRAWINGS FOR FIRE RATED WALL LOCATIONS. ROOMS WITH RATED WALLS REQUIRE RATED DOORS AND ANY DUCTS PASSING THROUGH REQUIRE FIRE RATED WALLS OR FLOORS REQUIRE UL RATED FIRE DENETRATIONS THROUGH REQUIRE PARTING. ANY CONDUIT AND/OR PIPING PENETRATIONS THROUGH REQUIRE RATED WALLS OR FLOORS REQUIRE UL RATED FIRE PARTED SEALANT TO COMPLETELY SEAL ANNULAR SPACE AROUND PENETRATIONS. 7. DOORS WITH DOOR NUMBER PREFIX "E" ARE HISTORIC, IN VERY GOOD CONDITION, AND ARE TO REMAIN IN PLACE OR BE RELOCATED. RECONDITION EXISTING DOORS AND FRAMES - SEE FLOOR PLANS AND SCHEDULE FOR SPECIFIC DETAILS ON RELOCATION, WHERE APPLICABLE, AND SPECIFICATION OSETION COND REMAIN IN PLACE OR PLANS AND SCHEDULE FOR SPECIFIC ATION OSETION COND REMABILITATION.
	Window Summary of work Window Total number of			8. SEE STRUCTURAL DRAWINGS FOR LAYOUT AND DIMENSIONING OF STRUCTURAL GRIDS AND ELEMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
	Туре	windows		9. INSTALL SEALANT AT EXTERIOR SIDE OF ALL JOINTS, SEAMS, CONNECTIONS OR OPENINGS WHICH COULD ALLOW WATER OR AIR INFILTRATION / EXFILTRATION, EXCEPT AS NOTED OTHERWISE. SEALANT COLOR TO MATCH ADJACENT, VISIBLE MATERIAL COLOR AND REQUIRES OWNER AND ARCHITECT APPROVAL.
	W10	8		10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING A WEATHER TIGHT BUILDING. DETAILS AND OMISSIONS ON DRAWINGS, NOTWITHSTANDING ALL DRAWING CONFLICTS OR APPARENT CONFLICTS, WHICH MAY NOT ALLOW A WEATHER TIGHT CONDITION, SHALL BE BROUGHT TO THE ATTENTION OF OWNER AND ARCHITECT PRIOR TO COMMENCING WORK IN THAT AREA.
	W11	23		11. FOR MORE INFORMATION ON HISTORIC DETAIL REFERENCES, REFER TO CITY OF MADISON SHAREPOINT WEBSITE FOR ACCESS TO ORIGINAL SHOP DRAWINGS OF HISTORIC STONE, WINDOW AND CAST IRON PROFILES.
	W16	8		 12. REFER TO SPECIFICATIONS FOR ALL MATERIAL CODES / CALLOUTS AND FOR MORE DETAILED SPECIFICATION REQUIREMENTS RELATED TO ALL COMPONENTS AND FINISHES. 13. THE LOCATION OF ALL FLOOR PENETRATIONS, INCLUDING LOCATIONS OF
	W17	23		FLOOR BOX CORE DRILLS, ARE TO BE VERIFIED IN THE FIELD BY XRAYING EXISTING FLOOR STRUCTURAL CONDITIONS, TO ENSURE EXISTING CONCRETE JOISTS ARE NOT PENETRATED. EXISTING CLAY TILES BETWEEN CONCRETE JOISTS ARE "SOFT SPOTS" FOR PENETRATIONS. EXCEPTIONS ARE THOSE LOCATIONS WHERE EXISTING CONCRETE RIBS NEED TO BE CUT
	W15	5		AND NEW STRUCTURAL SUPPORT FRAMING IS PROVIDED, PER THE STRUCTURAL DRAWINGS. 14. ALL NEW EXTERIOR STEEL TO BE PAINTED PT-7G, U.N.O.
	Chimney Grille			15. PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING AT ALL GYP WALLS FOR ANCHORING FLAT PANEL MONITORS, MARKERBOARDS, DISPLAY CASES, ART WORK AND HANGING SYSTEMS, TACKBOARD, AND ANY OTHER MECHANICAL, ELECTRICAL, PLUMBING, TECHNOLOGY AND AUDIO-VISUAL EQUIPMENT INDCATED ON FLOOR PLANS AND/OR INTERIOR ELEVATIONS FOR ALL DISCIPLINES.
	Total	71		IS REPAIR WALL FLOOR, CELLING WHERE XTG WALL REMOVED TO MATCH XTG COND. ADJACENT TO RECEIVE FINISH.

Urban Design www.msrdesign.com

MSR 710 South 2nd Street, 8th Floor Minneapolis, Minnesota 55401–2282

Architecture 612 375 0336 tel Interiors and 612 342 2216 fax

Civil Engineering and Landscape Architects Ken Saiki Design, Inc 303 South Paterson St Madison, WI 53703 608.251.3600 tel

Structural Engineering, Technology, AV KJWW 1800 Deming Way, Suite 200 Middleton, WI 53713 608.223.9600 tel

MEP Engineers MEP Associates 860 Blue Gentian Road, Suite 175 Eagan, MN 55121 651.379.9120 tel

Lighting Designer Gallina Design 30232 County 7 Chatfield, MN 55923 507.867.1628 tel

Preservation Architect Charles Quagliana, AIA 5641 Willoughby Rd Mazomanie, WI 53560 608.449.9589 tel

Building Envelope Consultant Insite Consulting Architects 115 E. Main Street, Suite 200 Madison, WI 53703 608.204.0825 tel

Fire & Code Sonsultant Summit Fire Consulting 575 Minnehaha Ave. W. St. Paul, MN 55103 651.251.1879 tel

Acoustical Consultant KRA 4826 Chicago Avenue South, Suite 206 Minneapolis, MN 55417 612.374.3800 tel

Civil Engineers VIERBICHER 999 Fourier Drive, Suite 201 Madison WI 53717

PAINTING Blvd Renovation Municipal BPW Project #7946 5 Martin Luther King, Jr. E Madison, WI 53703 WINDOW TORIC Madison Building F EXTERIOR HIS 215

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin. ARCHITECT SEAL AL SHARPY SCONSI

DANIEL JACK POLING A-89**84**

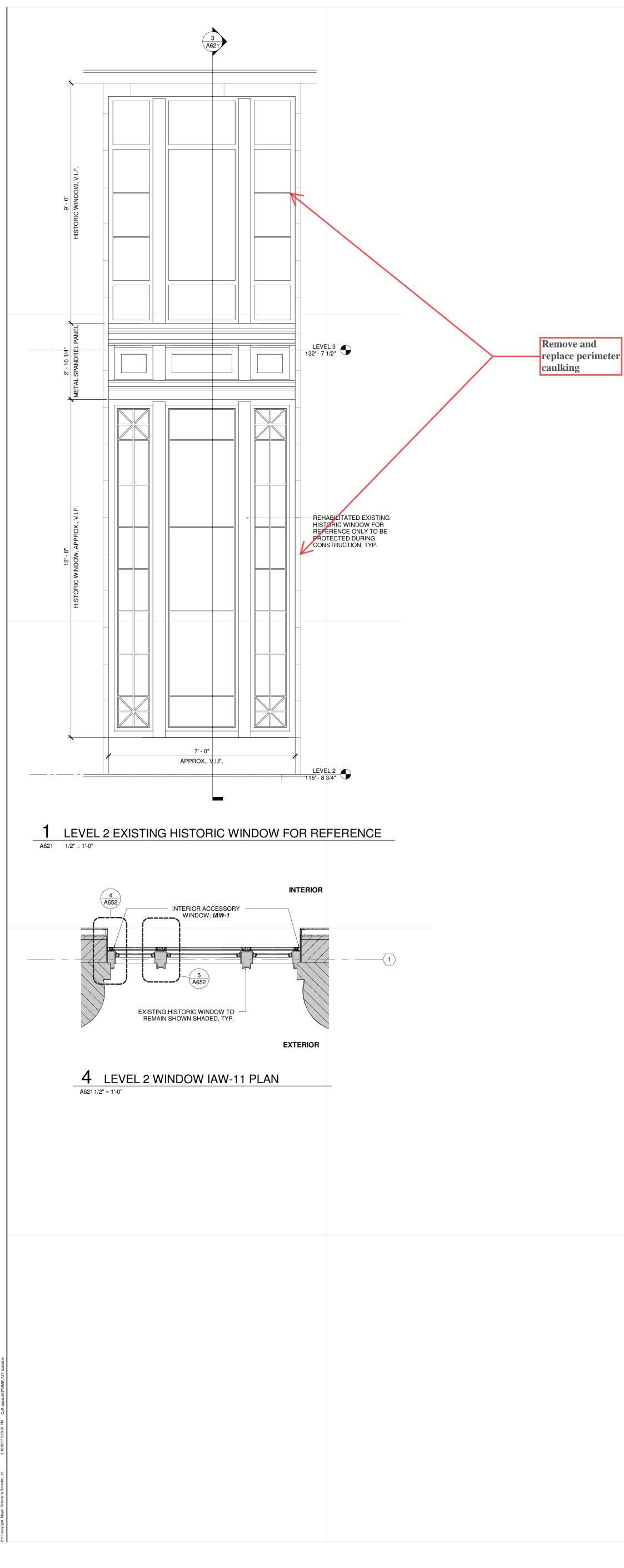
MINNEAPOLIS, MN NCHITEY Signature: MM Amin Print Names: Jack Poling Date: 10.07.2016 License No: A-8984 ISSUE MARKDATEDESCRIPTION112.24.2016BID ISSUE

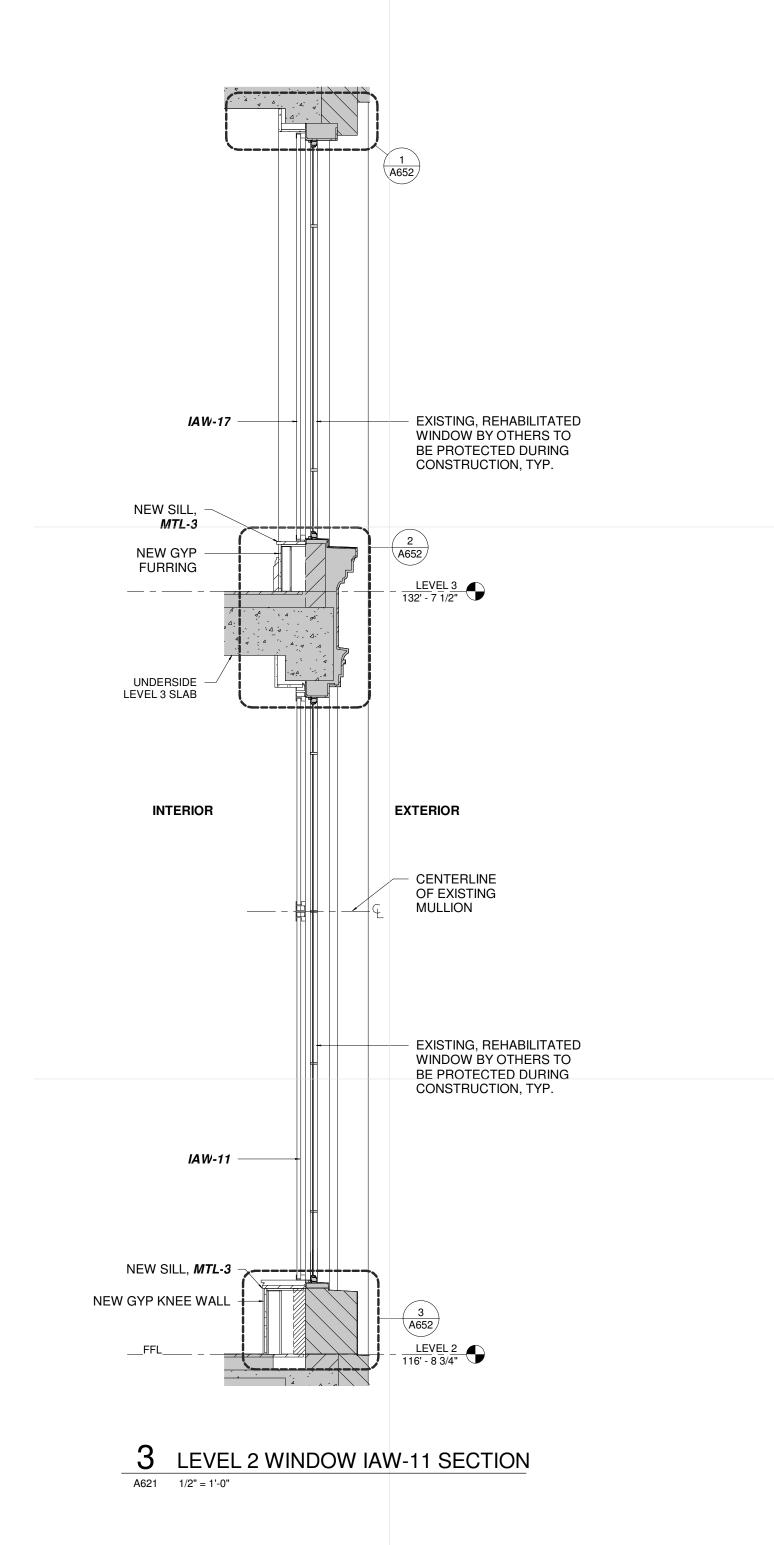
PROJECT NO. 2014057

PROJECT PHASE BID ISSUE checked by: SB DRAWN BY: ES/SK/SF Drawing 2016 Copyright Meyer, Scherer & Rockcastle, Ltd.

> WINDOW TYPES -IAW-10,IAW-16

EXHIBIT A A620 (4 OF 6)





GENERAL NOTES

PARTITION, U.N.O.

STRUCTURAL GRID, U.N.O.

1. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID AND VERIFY EXISTING CONDITIONS AND SCOPE OF WORK.

2. CONTRACTOR TO VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS AND EXISTING OPENING SIZES. DISCREPANCIES BETWEEN EXISTING AND NEW CONDITIONS (SETTING OUT OF WALLS, ETC.) SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.

3. EXISTING, HISTORIC WINDOWS TO REMAIN TO BE REHABILITATED BY OTHERS SHALL BE PROTECTED DURING CONSTRUCTION.

4. ALL PARTITION SETTING OUT DIMENSIONS ARE TO CENTERLINE OF

5. DIMENSIONS TO FACE OF WALL ARE TIED TO CENTERLINE OF

6. REFER TO G-SERIES CODE PLAN DRAWINGS FOR FIRE RATED WALL LOCATIONS. ROOMS WITH RATED WALLS REQUIRE RATED DOORS AND ANY DUCTS PASSING THROUGH REQUIRE FIRE RATED WALLS OR FLOORS REQUIRE UL RATED FIRE DAMPERS WITH CODE REQUIRED RATING. ANY CONDUIT AND/OR PIPING PENETRATIONS THROUGH FIRE WALLS OR FLOORS REQUIRE UL RATED FIRE RATED SEALANT TO COMPLETELY SEAL ANNULAR SPACE AROUND PENETRATIONS.

7. DOORS WITH DOOR NUMBER PREFIX "E" ARE HISTORIC, IN VERY GOOD CONDITION, AND ARE TO REMAIN IN PLACE OR BE RELOCATED. RECONDITION EXISTING DOORS AND FRAMES - SEE FLOOR PLANS AND SCHEDULE FOR SPECIFIC DETAILS ON RELOCATION, WHERE APPLICABLE, AND SPECIFICATION 082110 FOR HISTORIC DOOR REHABILITATION.

8. SEE STRUCTURAL DRAWINGS FOR LAYOUT AND DIMENSIONING OF STRUCTURAL GRIDS AND ELEMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.

9. INSTALL SEALANT AT EXTERIOR SIDE OF ALL JOINTS, SEAMS, CONNECTIONS OR OPENINGS WHICH COULD ALLOW WATER OR AIR INFILTRATION / EXFILTRATION, EXCEPT AS NOTED OTHERWISE. SEALANT COLOR TO MATCH ADJACENT, VISIBLE MATERIAL COLOR AND REQUIRES OWNER AND ARCHITECT APPROVAL.

10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING A WEATHER TIGHT BUILDING. DETAILS AND OMISSIONS ON DRAWINGS, NOTWITHSTANDING ALL DRAWING CONFLICTS OR APPARENT CONFLICTS, WHICH MAY NOT ALLOW A WEATHER TIGHT CONDITION, SHALL BE BROUGHT TO THE ATTENTION OF OWNER AND ARCHITECT PRIOR TO COMMENCING WORK IN THAT AREA.

11. FOR MORE INFORMATION ON HISTORIC DETAIL REFERENCES, REFER TO CITY OF MADISON SHAREPOINT WEBSITE FOR ACCESS TO ORIGINAL SHOP DRAWINGS OF HISTORIC STONE, WINDOW AND CAST IRON PROFILES.

12. REFER TO SPECIFICATIONS FOR ALL MATERIAL CODES / CALLOUTS AND FOR MORE DETAILED SPECIFICATION REQUIREMENTS RELATED TO ALL COMPONENTS AND FINISHES.

13. THE LOCATION OF ALL FLOOR PENETRATIONS, INCLUDING LOCATIONS OF FLOOR BOX CORE DRILLS, ARE TO BE VERIFIED IN THE FIELD BY XRAYING EXISTING FLOOR STRUCTURAL CONDITIONS, TO ENSURE EXISTING CONCRETE JOISTS ARE NOT PENETRATED. EXISTING CLAY TILES BETWEEN CONCRETE JOISTS ARE "SOFT SPOTS" FOR PENETRATIONS. EXCEPTIONS ARE THOSE LOCATIONS WHERE EXISTING CONCRETE RIBS NEED TO BE CUT AND NEW STRUCTURAL SUPPORT FRAMING IS PROVIDED, PER THE STRUCTURAL DRAWINGS.

14. ALL NEW EXTERIOR STEEL TO BE PAINTED PT-7G, U.N.O.

15. PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING AT ALL GYP WALLS FOR ANCHORING FLAT PANEL MONITORS, MARKERBOARDS, DISPLAY CASES, ART WORK AND HANGING SYSTEMS, TACKBOARD, AND ANY OTHER MECHANICAL, ELECTRICAL, PLUMBING, TECHNOLOGY AND AUDIO-VISUAL EQUIPMENT INDCATED ON FLOOR PLANS AND/OR INTERIOR ELEVATIONS FOR ALL DISCIPLINES.

16. REPAIR WALL, FLOOR, CEILING WHERE XTG WALL REMOVED TO MATCH XTG COND. ADJACENT TO RECEIVE FINISH.

Urban Design www.msrdesign.com

MSR 710 South 2nd Street, 8th Floor Minneapolis, Minnesota 55401–2282

Architecture 612 375 0336 tel Interiors and 612 342 2216 fax

Civil Engineering and Landscape Architects Ken Saiki Design, Inc 303 South Paterson St Madison, WI 53703 608.251.3600 tel

Structural Engineering, Technology, AV KJWW 1800 Deming Way, Suite 200 Middleton, WI 53713

608.223.9600 tel

MEP Engineers MEP Associates 860 Blue Gentian Road, Suite 175 Eagan, MN 55121 651.379.9120 tel

Lighting Designer Gallina Design 30232 County 7 Chatfield, MN 55923 507.867.1628 tel

Preservation Architect Charles Quagliana, AIA 5641 Willoughby Rd Mazomanie, WI 53560 608.449.9589 tel

Building Envelope Consultant Insite Consulting Architects 115 E. Main Street, Suite 200 Madison, WI 53703 608.204.0825 tel

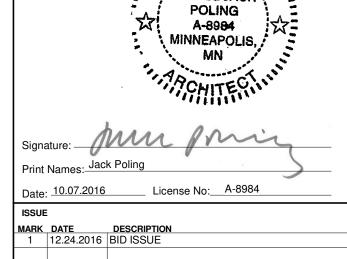
Fire & Code Sonsultant Summit Fire Consulting 575 Minnehaha Ave. W. St. Paul, MN 55103 651.251.1879 tel

Acoustical Consultant KRA 4826 Chicago Avenue South, Suite 206 Minneapolis, MN 5541 612.374.3800 tel

Civil Engineers VIERBICHER 999 Fourier Drive, Suite 201 Madison WI 53717



SCONS / DANIEL JACK



PROJECT NO. 2014057

BID ISSUE

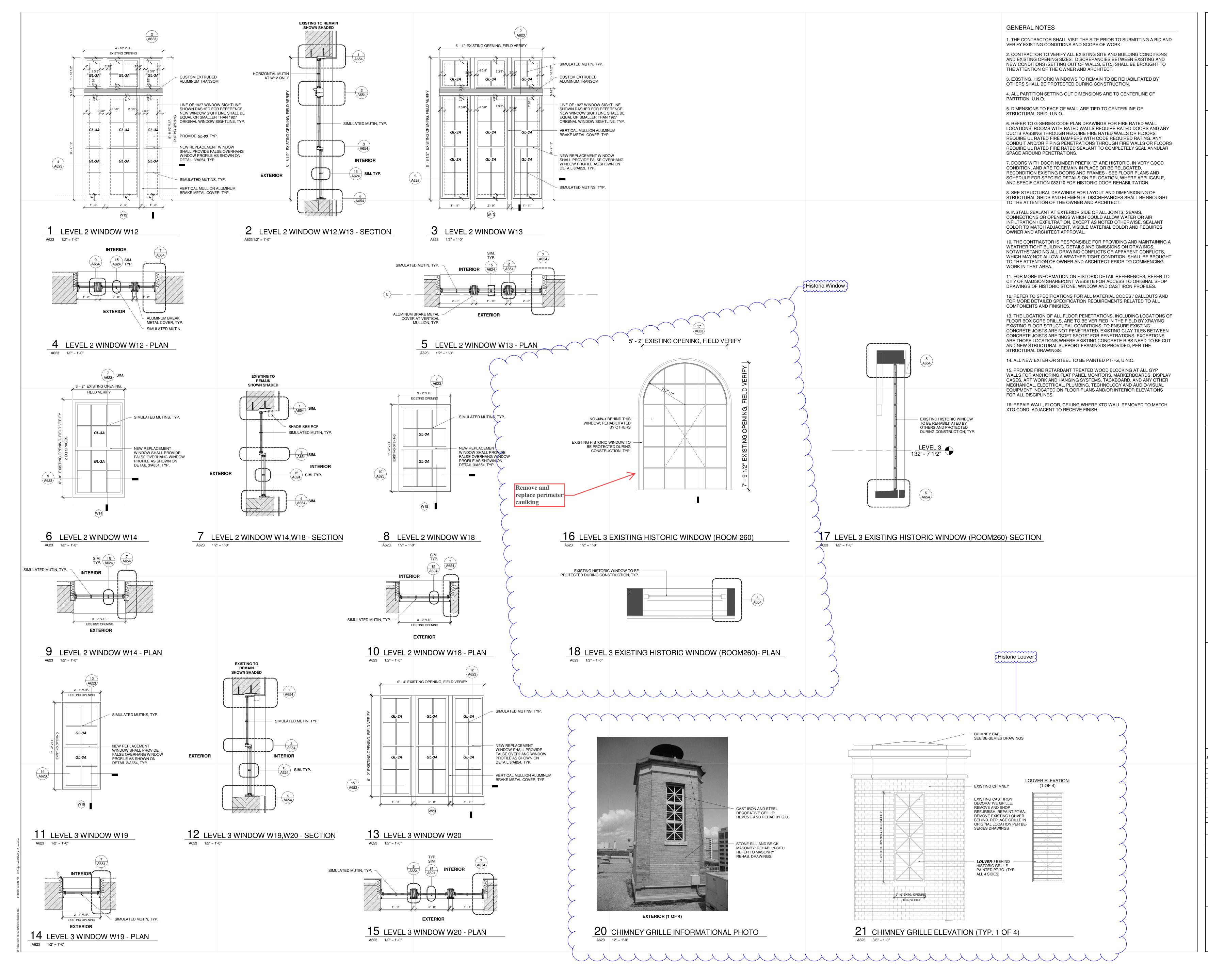
CHECKED BY: MSR/CQ

PROJECT PHASE DRAWN BY: MSR Drawing 2016 Copyright Meyer, Scherer & Rockcastle, Ltd.

WINDOW TYPES -IAW-11, IAW-17

EXHIBIT A A621

(5 OF 6)



MSR 710 South 2nd Street, 8th Floor Minneapolis, Minnesota 55401–2282

Architecture 612 375 0336 tel Interiors and 612 342 2216 fax Urban Design www.msrdesign.com

Civil Engineering and Landscape Architects Ken Saiki Design, Inc 303 South Paterson St Madison, WI 53703 608.251.3600 tel

Structural Engineering, Technology, AV KJWW 1800 Deming Way, Suite 200 Middleton, WI 53713

608.223.9600 tel

MEP Engineers MEP Associates 860 Blue Gentian Road, Suite 175 Eagan, MN 55121 651.379.9120 tel

Lighting Designer Gallina Design 30232 County 7 Chatfield, MN 55923 507.867.1628 tel

Preservation Architect Charles Quagliana, AIA 5641 Willoughby Rd Mazomanie, WI 53560 608.449.9589 tel

Building Envelope Consultant Insite Consulting Architects 115 E. Main Street, Suite 200 Madison, WI 53703 608.204.0825 tel

Fire & Code Sonsultant Summit Fire Consulting 575 Minnehaha Ave. W. St. Paul, MN 55103 651.251.1879 tel

Acoustical Consultant KRA 4826 Chicago Avenue South, Suite 206 Minneapolis, MN 554 612.374.3800 tel

Civil Engineers VIERBICHER 999 Fourier Drive, Suite 201 Madison WI 53717

J Q B Municipal Z Ο A {enovati)46 Jr)03 D. WINDOW 70, 37, \mathbf{O} LC _ 2 \cap Ο 0 Madise uilding BPW Aartin Madi ERIOR HI S Μ **—** N I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin. ARCHITECT SEAL SCONS / DANIEL JACK POLING A-8984 MINNEAPOLIS, MN

Signature: MM Amin Print Names: Jack Poling Date: 10.07.2016 License No: A-8984 ISSUE MARKDATEDESCRIPTION112.24.2016BID ISSUE

PROJECT NO. 2014057 PROJECT PHASE **BID ISSUE** DRAWN BY CHECKED BY: ES/SK/SF g 2016 Copyright Meyer, Scherer & Rockcastle, L WINDOW TYPES -W12, 13, 14, 15, 18, 19, 20

EXHIBIT A

A623

(6 OF 6